



**Lea Terra Park Homeowners Association
7925 SW Connemara Terrace Beaverton,
OR 97008-6978**

Exhibit A to Resolution of the Board of Directors No. 2006-02

Architectural Change Approval Form

In accordance with Article 4, Review Process, of Resolution of the Board of Directors No. 2006-02, Architectural Review, the Board has created the following forms.

These forms, when signed by the homeowner and the contractor, must be returned to the Architectural Review Committee (ARC) Chairperson. The ARC shall render a written approval or denial decision with respect to the proposal within thirty (30) days after it has received all material required by it with respect to the application.

You must have approval signed by either the Architectural Review Committee Chairperson or the President of the Association before you enter into a contract with your contractor.

DATED this 16th day of June, 2011.

ATTEST:



Karla Marzineck, President

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iris Heniff, Secretary



Office use only	
Date Rec'd:	___/___/___
Date Reviewed:	___/___/___
Date Approved/ Rejected:	___/___/___
Date more info requested:	___/___/___

Lea Terra Park Homeowners Association Architectural Change Approval Form

Homeowner section:

(Name) _____ (Phone day) _____ (Phone eve) _____
(Property Address) _____ (Mailing Address 1/ different) _____
(city, state Z1p) _____ (city, state Z1p) _____

Request approval for the following proposed project: _____

The work performed does not conform to the appropriate Architectural Specifications of the Lea Terra Park Homeowners Association then I, (Homeowner) _____, will be responsible to have the work corrected to comply with the appropriate specifications at my cost within 30 days of notice of noncompliance and in addition I will pay a fine of \$250.00.

Proposed Contractor:

(Company Name) _____ (Phone day) _____ (Phone eve) _____
(Company) Representative _____ (Phone day) _____ (Phone eve) _____
Oregon CCB#: _____

Architectural chair) _____ (Date) _____ (time) _____

If you have any misunderstanding of this document please contact your legal counsel.



**Lea Terra Park Homeowners Association
Architectural Change Approval Form**

Office use only
Date Rec'd: ___/___/___
Date Reviewed: ___/___/___
Date Approved/ Rejected: ___/___/___
Date more info requested: / /

Contractor's Section:

I, the undersigned, have been provided with a copy of the appropriate Architectural Specifications of the Lea Terra Park Homeowners Association for the work that I have been contracted to perform for

Homeowners Name:

By signing below I agree to fully comply with the specifications

and that if any work performed by me should not meet the supplied specifications, I will incur the cost to correct the issue.

{Company Name} (Phone day) (Phone eve)

{Company Representative} (Phone day) (Phone eve)

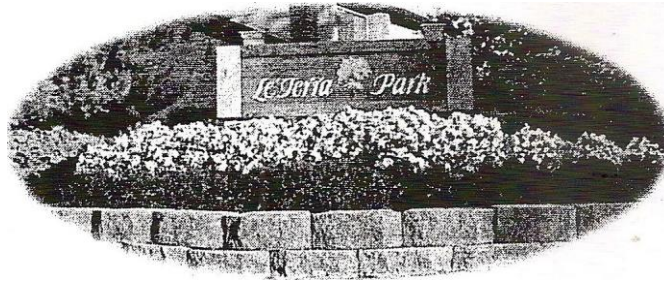
{Company Address} (Mailing Address 1/ different)

{City, state zip} {City, state zip}

Oregon CCB#: Provide Insurance and Bonding:

{Rep.'s Signature} (Date) {Time}

{HOA Architectural Chair} (Date) {Time}



Lea Terra Park Owners Association

7925 SW Connemara Terrace

Beaverton, OR 97008-6978

Resolution of The Board of Directors No. 2006-03

Adoption of Architectural Standards and Guidelines

RECITALS

- A. Article VII of the Declaration of Covenants, Conditions and Restrictions for Lea Terra Park ("Declaration".) provides that no building, fence, wall or other structure shall be commenced, erected or maintained upon the Properties, nor shall any exterior addition to or change or alteration therein be made until the plans and specifications showing the nature, kind, shape, height, materials and locations of the same shall have been submitted to and approved in writing as to harmony of external design and location in relation to surrounding structures and topography by the Board of Directors of the Association or by an Architectural review committee composed of three (3) or more representatives appointed by the Board;
- B. The Board of Directors on 27 June, 2006 adopted **Resolution No. 2006-02** establishing the Architectural Control Review Committee ("ARC") and specifying it duties and responsibilities and providing a procedure for review and approval or disapproval in accordance with Article VII of the Declaration;
- C. **Resolution No. 2006-02** requires that the procedure and specific requirements for review and approval by the ARC of an application shall be set forth in design guidelines and standards ("Architectural Standards and Guidelines") adopted from time to time by resolution of the Board of Directors.

NOW, THEREFORE, IT IS RESOLVED THAT, pursuant to Article VII of the Declaration, and Resolution No. 2006-02 the Board of Directors adopts the **attached** Architectural Standards and Guidelines.

DATED this 27th day of June, 2006.

ATTEST:
Karla Marzineck, President



**Lea Terra Park Homeowners Association
Architectural Specifications
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**Lea Terra Park Homeowners Association
Architectural Specifications**

Building Materials

Siding

Lap Siding:

Cedar Beveled Siding, 1/2" x 6", Clear Vertical Grain, Resawn, 1/8" edge
 Finger joined, primed, 4 1/2" reveal
 recommend using 15# felt paper under siding
 recommend using 6 d (penny) siding nail
 OR use Hardy plank siding, it is a cement
 fiber board

Stucco panel:

Cement Board / Patterned

Vertical Trim board:

5/4 Cedar (This trim board is a full One inch thick)
 Fascia boards **2" x X"** Cedar ripped to the appropriate width.

Exterior Paint

Rodda Paint

Body: (siding, garage doors, side doors): Satin	OC12D4165
Doors: (Semigloss Enamel (gloss level 5)	OC12D4168
Trim: (Gutters and House Numbers)	OC12D4166
Stucco: (Cement Board on end of homes and between windows)	PR13D313

Caulking:

- Sonolastic: TX 1 This caulk works the best for bonding cedar to cement board and cement board to vinyl
- Quad caulk: used wood to vinyl
- Veulken caulk: used wood to wood

Front steps/porches

Since we have various kinds of front steps and front porches, the replacement should be the same as what you have in place today.
 Cedar boards, stained with a clear Cedar stain, not to be painted with house paint.
 Composite Wood Material in wood color, not to be painted with house paint.
 Railing, Cedar wood, painted the color of the house



Lea Terra Park Homeowners Association Arch'itectural Specifications

Front entry doors

Front entry door specification: Either Metal or Fiberglass material - 6 raised panels (Figure 1) - no glass inserts are permitted. Doors must be painted the approved paint color within 60 days of installation. Painting is the responsibility of the homeowner after replacement (see Paint section of this document for paint brand and colors.)

Front entry screen/security doors

Specifications for front entry screen/security door (new or replacement).

Colors allowed: **Black or Anodized Bronze**

Screen, glass and security bars are allowed

Painted designs in screen/ glass area is **not** allowed.



Figure 1

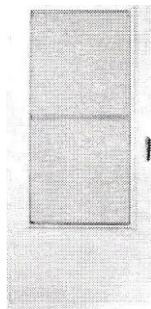


Figure 2

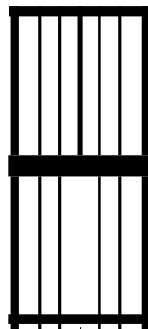


Figure 3



Figure 4

Figure 2: Combination Screen/Storm Door

Figure 3: Combination Screen/Security Door

Figure 4: Full view storm door - **note:** clear glass with gold striping

Side doors

Note: Applies only to units 1 - 24, 25, 34, 55 and 69.

Wood, Fiberglass or Steel with glass panel, appearance must be identical to what is being replaced.

2nd story front deck doors

Wood, Fiberglass or Steel with glass panel, appearance must be identical to what is being replaced.

2nd story front deck flooring materials

Deck Rite: DeckRite is a three ply laminated membrane consisting of a heavy-duty polyester fabric encapsulated between two vinyl films. Finish thickness of the membrane is 50 mils and 60 mils.

IB Flatroof: DeckShield™ -membrane is a skid-resistant waterproofing system made from a composite layer of durable reinforced PVC film. Deckshield is available in three thicknesses, 50 mils, 60 mils and 80 mils.



Lea Terra Park Homeowners Association Architectural Specifications

Garage doors

Garage doors specification: raised panel, double layer heavy-duty steel exterior with vinyl-coated polystyrene insulation solid doors only; windows are **not** allowed.

Single-car garage doors may have either 3 or 4 raised panels across depending on manufacturer (Figure 5).

Two-car garage doors may have either 6 or 8 raised panels across depending on manufacturer (Figure 6).

Garage doors must be painted the same color as the body of the house within 60 days of installation. Painting is the responsibility of the homeowner after replacement (see Paint section of this document for paint brand and colors.)

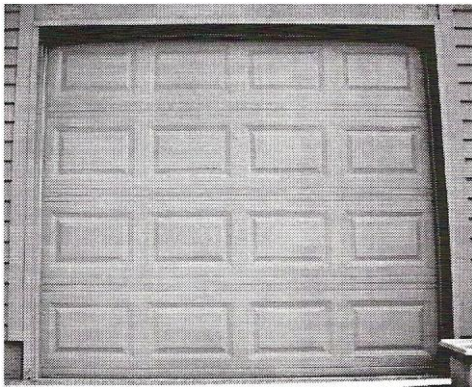


Figure 5



Figure 6

Garage entry (side) doors

Garage entry door specification: wood slab door (Figure 7)

Doors must be painted the same color as the body of the house within 60 days of installation. Painting is the responsibility of the homeowner after replacement (see Paint section of this document for paint brand and colors).

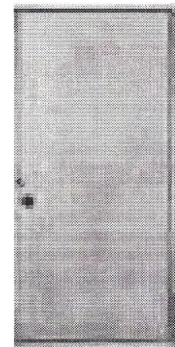


Figure 7



Lea Terra Park Homeowners Association Architectural Specification

Roof

Gutters and downspouts

Gutters:

Continuous Fascia: 5K or 6K, Black (Figure 8)

Downspouts:

Corrugated Colonial Grey (#46) by Gutterman (Figure 9)

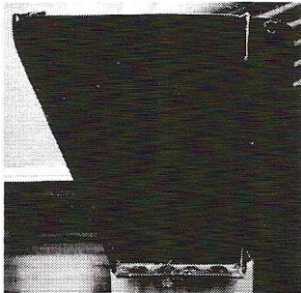


Figure 8

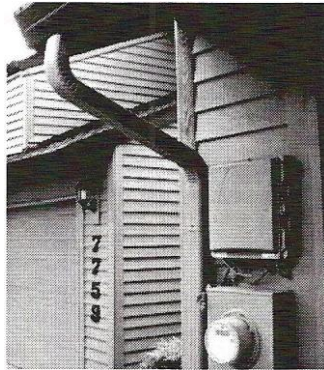


Figure 9

Covered Gutters:

If the homeowner wants to install gutters that are covered, this is allowed only if the gutter material is paintable and the connection to the roof is not visible, it cannot be connected to the roof above the first row of roofing material. Covers that are connected only on the existing gutters are allowed also.

Roofing Materials

The specific concrete tile roof that was installed when Lea Terra Park was built is not longer manufactured. The board selected the following as the replacement roof material.

Certainteed Presidential Shake - color: ~~Autumn Brown~~ Autumn Blend (updated 11/21/23)

50 Year roof.

Hip and Ridge:	High Profile Ridglass
Attic ventilation:	Granulated/stone coated Autumn Blend (painted metal not acceptable)
Felt paper:	301b
Drip edge:	Black
Gable flashing:	Black
Roof to wall flashing:	Brown
Chimney flashing:	Brown
Skylight flashing:	Brown

Skylights

Replacement/New Skylights must be in keeping with the appearance of builder installed skylights. Skylights may be fixed (non-opening) or vented - manual or electric



Lea Terra Park Homeowners Association Architectural Specification

Skylights continued:

Venetian, blackout, and roller blinds are allowed

Solar Panels on roofs:

Installation of solar panels is permitted in Oregon per ORS94.778. Both panels and frames have to be black.

Windows and Patio Doors- replacement or new

Specifications for replacement Windows and Patio Doors, this also applies to sunrooms

1. What is allowed:
 - a. White Vinyl **only**
 - b. Clear Privacy glass is permitted in bathroom and garage windows only.
 - c. A maximum of 2-½ inches of white vinyl will be allowed to show on the outside.
2. What is **not** allowed:
 - a. No jump frames
 - b. No greenhouse windows
 - c. No grids or decorative enhancement
 - d. No tints are allowed except for Low-E which does not show.
 - e. When the homeowner replaces the windows, all windows and doors on that side of the house have to be replaced. In the front/side of the house it would mean all windows and doors visible from the street. In back it would mean all windows and doors across the back of the house.

Driveways:

Driveways have to be replaced with the same material and look that currently exists on the driveway.

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Lea Terra Park Homeowners Association Architectural Specifications

Exterior light fixtures

All exterior lighting shall have cut-off fixtures* so that no direct lighting or glare is emitted beyond any property line onto adjacent properties.

(*cut-off fixtures = baffles, shades, etc.)

Color: Black or Bronze

Style: Any

Backyard fences (between units)

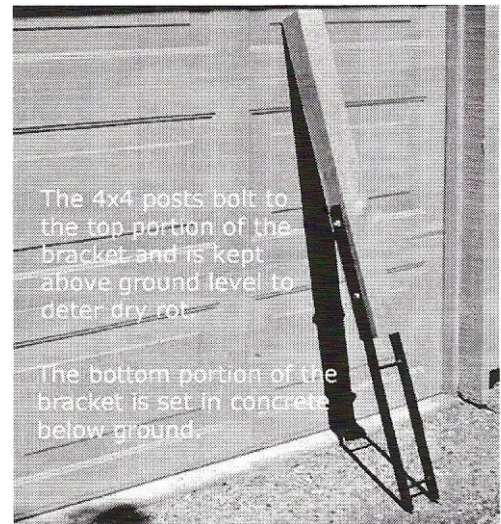
6 foot high solid style fence

Posts: 4" x 4" x 8' high pressure treated

#1 Cedar board 5/8" x 6" wide

2"x 4" Cedar cap

4" x 4" x 8' posts must be anchored in metal brackets
(Figure 10), which are set in 3' deep concrete.



Newspaper Box Post Specifications

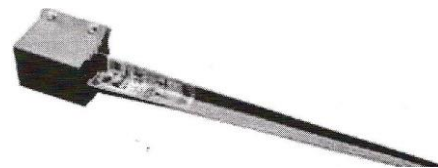
4"X4" pressure treated wood post - 39 inches above ground

4"x4" Cedar pyramid cap for above post - available at Home Depot or Lowes (Figure 11).

24" Ground Master post system - available at Home Depot (Figure 12)

4"X4" post is anchored in Ground Master post system

Painting is the responsibility of the homeowner after replacement (see Paint section of this document for paint brand and colors)





**Lea Terra Park Homeowners Association
7925 SW Connemara Terrace
Beaverton, OR 97008-6978**

Exhibit B to Resolution of the Board of Directors No. 2006-03

Vinyl Window Installation Instructions

Existing architectural style must be maintained. What does this mean? When the project is completed, except for the new white windows the exterior of your home must look just like it did prior to replacing the windows.

1. What is acceptable:

- a. The stucco panel above and below the window or door and the vertical trim on either side of the window must be removed.
- b. The old window or door removed.
- c. The new window or door installed with the nail fins under the vertical trim on the sides of the windows or door frames and under the stucco panel above and below the window or door frame
- d. The stucco panel re-installed if the panel is in good condition or replaced with patterned
- e. Cement Board.
- f. Under Chapter 14 of the 2007 Oregon Structural Specialty, Statute# 1405-17.1- Fiber Cement siding reads:
Panels shall be installed with the long dimension parallel to the framing.
Vertical joints shall be over framing member and shall be sealed with caulk or battens.
Horizontal joints shall be flashed with Z-flashing and blocked with solid wood framing
- g. The vertical trim boards re-installed if they are in good condition or replaced with new 5/4 Cedar.
- h. If any siding needs to be removed, it must be re-installed if it is in good condition or replaced with new.
- i. The exterior of the unit repainted after window replacement. (The homeowner is responsible for the repainting.)

2. What is **not** acceptable

- a. Cutting the stucco panels just above and below the existing windows to allow access to the window fins.

Chris Heniff/retary



**Lea Terra Park Homeowners Association
7925 SW Connemara Terrace
Beaverton, OR 97008-6978**

**Resolution of The Board of Directors No. 2010-01
Adoption of Approved Plant List**

RECITALS

- A. Article VI of the Declaration of Covenants, Conditions and Restrictions for Lea Terra Park ("Declaration") provides that in addition to maintenance upon the Common Area, the Association shall provide exterior maintenance upon each Lot which is subject to assessment hereunder, as follows: paint exterior building surfaces, and maintain trees, shrubs; grass and walkways in front of each living unit. Such exterior maintenance shall not include glass surfaces.

In the event that the need for maintenance or repair of a lot or the improvements thereon is caused through the willful or negligent acts of its owner, or through the willful or negligent acts of the family, guests or invitees of the owner of the lot needing such maintenance or repair, the cost of such exterior maintenance shall be added to and become part of the assessment to which such lot is subject.

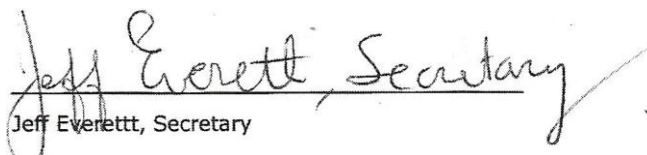
- B. Article VIII, Section 11 of the Declaration of Covenants, Conditions and Restrictions for Lea Terra Park ("Declaration"), as amended April 12, 2010, provides that no owner shall remove or otherwise alter any plant or tree or any landscaping or improvement in any Common Area without the written consent of the Board of Directors of the Association or its landscape committee.

NOW, THEREFORE, IT IS RESOLVED THAT, pursuant to Article VI and Article VIII, section 11 of the Declaration the Board of Directors adopts the **attached** Approved Plant List for all areas maintained by the Association.

DATED this 30th day of July 2010.



Karla Marzineck, President



Jeff Everett, Secretary